

DURDEN & HUNT

INTERNATIONAL



Jenner House, Colchester CO3

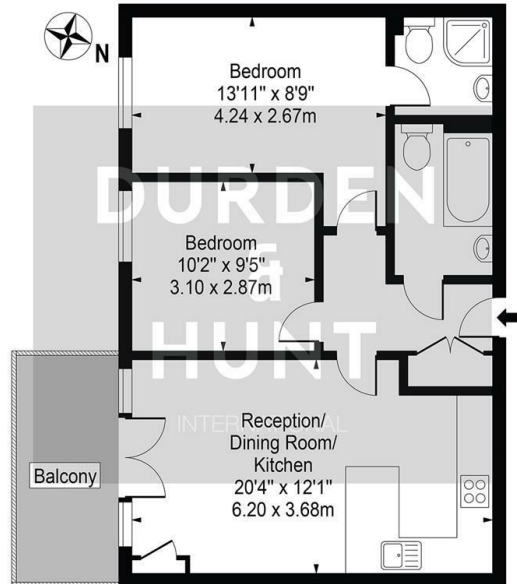
Offers In Excess Of £200,000

- Chain Free
- Modern Development
- Open Plan Kitchen And Living
- Two Allocated Parking Spaces
- Primary Bedroom With En Suite
- Family Bathroom
- Private Balcony
- Additional Double Bedroom

1-3 Crouch Street, Colchester, CO3 3EN

<https://www.durdenandhunt.co.uk>

Jenner House,
Martin Hunt Drive, CO3 8AY
Approx. Gross Internal Area 633 Sq Ft - 58.81 Sq M



First Floor

For Illustration Purposes Only - Not To Scale

This floor plan should be used as a general outline for guidance only and does not constitute in whole or in part an offer or contract. Any intending purchaser or lessee should satisfy themselves by inspection, searches, enquiries and full survey as to the correctness of each statement. Any areas, measurements or distances quoted are approximate and should not be used to value a property or be the basis of any sale or let.

Viewings

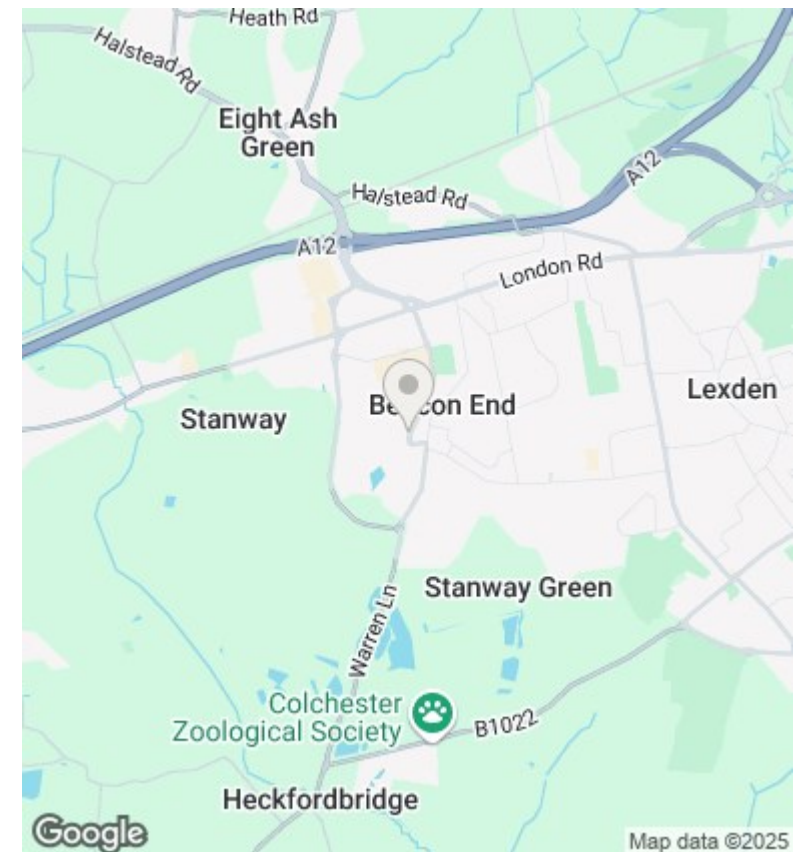
Viewings by arrangement only. Call to make an appointment.

Council Tax Band

B

EPC Rating:

B



Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B	84	84
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	